



CHICHESTER HARBOUR CONSERVANCY INVITATION TO TENDER

APULDRAM MANOR FARM PERMISSIVE FOOTPATH RESURFACING

Opening date: Wednesday 27 May 2026

Closing Date: Wednesday 17 June – 12pm (Noon)

Submission: tenders@conservancy.co.uk

1. Introduction and Purpose of the Specification

1.1 Chichester Harbour Conservancy (“The Conservancy”) is inviting quotes to undertake improvements to the Apuldrum Manor Farm Permissive footpath.

1.2 The overall aim of the project is to reinstate the existing path back into full use so as to avoid users needing to cut down onto the foreshore or into the adjacent agricultural fields.

1.3 The ultimate aims of this specification are to:

- Identify a suitable contractor; and
- Enter into an agreement between that party and the Conservancy to undertake the works with an anticipated start date of September 2026.

2. Procurement Approach

2.1 This procurement is structured to allow suppliers to provide costings for each of the specific requirements of the work, while maintaining a fair, transparent and auditable process.

2.2 The anticipated contract value for this procurement is between **£50,000 and £145,000 (excluding VAT)**. Any tender submission exceeding this value will be deemed **non-compliant** and will not be evaluated.

3. Background to the Project

3.1 Chichester Harbour is both the largest natural estuary in Southeast England and the largest recreational boating harbour in Europe, in terms of the number of moorings present. There are multiple environmental designations including a National Landscape, for its natural beauty, Sites of Special Scientific Interest, for the flora and fauna, a Special Protection Area, for the birdlife, a Special Area of Conservation, for the habitats, and a Ramsar Site, for the wetlands. Walking is a great way to discover the landscape and wildlife of Chichester Harbour.

3.2 There are over 56 miles of public footpaths with a further 7 miles of permissive routes within the National Landscape. Many of the paths run close to the shoreline, with fantastic

views across the water. Others cut across farmland and through picturesque harbour villages.

3.3 The stretch of the Apuldram Manor Permissive Path to be reinstated is approximately 1.55km in length, and runs alongside the Fishbourne channel of Chichester Harbour, between Dell Quay and Salterns Copse (see Figures 1 & 2 below). The path commences at Grid ref SU83730276 and finishes at SU82890173. Site users are often seen leaving the path to avoid mud and standing water, cutting down onto the foreshore, potentially causing disturbance to coastal habitats and wildlife. *Annex A* shows the condition of parts of the path during the winter months.

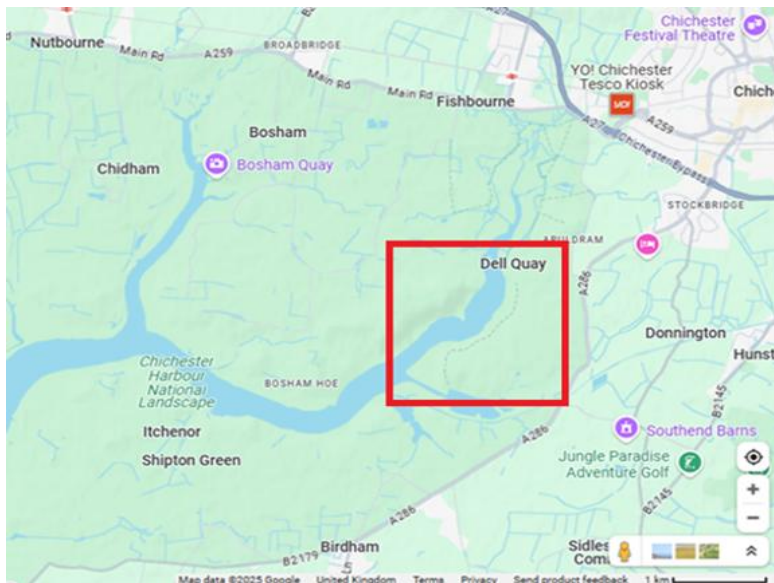


Figure 1 Location of site within Chichester Harbour



Figure 2 Satellite image of distance of path to be upgraded.

3.4 Planning permission is currently being sought from Chichester District Council for the reinstatement works to go ahead as proposed and any planning conditions or Biodiversity Net Gain requirements will be confirmed once they are known. However, due to the low impact nature of the works, any conditions or requirements are expected to be minimal and will be undertaken by the Conservancy as part of the works.

3.5 Contractor work will include:

- Resolving existing drainage issues where runoff from the adjacent fields affects path usage;
- Surfacing unmade track sections to a maximum width of 1.5m;
- Replacing one footbridge;
- Widening and repairing another footbridge; and
- Replacing the pedestrian gate at the Dell Quay end.

3.6 Aggregate surfacing will be required (the existing stretches of boardwalk are to remain in situ) although it is recognised that some of the wetter areas will require a deeper layer of larger sized aggregate, or an alternative sustainable solution to aid drainage. *Annex B* provides the detailed technical drawings for the proposals. These drawings are also provided as separate documents.

3.7 Contractors are welcome to walk the path prior to submission of tender responses but if access is required to view the materials tipping area or the track through the agricultural fields, then the Conservancy Operations Manager should be informed so that permission is sought from the tenant farmer.

3.8 In accordance with the Conservancy's financial regulations, this brief has gone out to a public tender process. The Conservancy will award the work to one single successful contractor.

3.9 The specification has been updated and is correct as of 26 May 2026.

4. Scope of Works

4.1 The following information, which forms the basis of the planning application, is what contractors are required to provide costs against, along with a method statement for delivery.

Table 1 *Scope of works*

Work Component	Specifics
Planning & works preparation	Identification of vehicles to be used, materials required, access arrangements to/from site and tipping area at SU83660182, client/contractor communications etc.
Clearance / Site Preparation	<p>Restrict access to the site (from the general public) during the site preparation and resurfacing works.</p> <p>Clear vegetation from the existing footpath and at the edge (if required) and remove cuttings from the site.</p> <p>Level the path (where required), removing excess material from the site.</p>
Installation of sustainable drainage	<p>There are several areas along the path that require additional sustainable drainage solutions. Whilst there may not be standing water or wet mud in the spring and summer season, it is obvious where these areas are. The main stretches of concern are at approximately:</p> <ul style="list-style-type: none"> • SU83640257 • SU83140185 • SU82940181 <p>Contractors are asked to provide costings to install 'French drains' (or a similar system that ensures excess water permeates into the ground or away from the path) or other options that are suitable for use in a protected environment.</p>
Footpath resurfacing works	<p>If additional drainage options are not required, then to all low lying, boggy areas, supply and lay a 200mm thick layer of 75 to 40mm suitable aggregate e.g. clean limestone, to enable efficient drainage.</p> <p>On top of the above, and to the remaining stretches of the path, supply and lay a 150mm thick layer of Type 1 sub base aggregate to complete areas. Roll and compact.</p> <p>Over the whole of the path, supply and lay a 10mm thick layer of 6-2mm clean limestone</p>

	<p>Type 2 aggregate to complete. Roll and compact chippings.</p> <p>Either end of the 3 stretches of boardwalk (SU83650255; SU83460212; and SU83250193), the footpath surface should be built up to be level with the top of the boardwalk and laid either side of the boardwalk where the width allows.</p>
Supply and installation of footbridges and gate	<p>Supply and install one three plank wide (1m) x 3m long, hardwood bridge (removing existing one first) and add hardwood handrails to either side at SU83490215. See <i>Annex C</i> for specific details.</p> <p>Supply and install one extra hardwood plank to the second footbridge (which will remain in situ) at SU82890172 to make it three planks wide and add hardwood handrails to either side.</p> <p>Supply and install one pressure-treated wooden kissing gate to the Dell Quay end of the path at SU83730276 (see <i>Annex C</i> for further details) if the existing gate cannot be repaired.</p>
Removal and disposal of cleared items and completion of works	To leave the site, access routes and tipping area in a clean and tidy condition.

- 4.2 An area of hardstanding will be provided at the Old Dairy (SU83660182) that can be used for tipping and storage of materials, which will reduce damage to the fields.
- 4.3 All materials are to be loaded and transported by small dumpers to the path area which can be accessed from the proposed tipping area at the Old Dairy, through the fields via an existing access track (see *Annex B*)
- 4.4 Due to both environmental mitigation and access issues the work would need to take place in September/early October.



Figure 3 Footbridge to be replaced.



Figure 4. Footbridge to be repaired.



Figure 5. Existing pedestrian gate to be repaired/replaced.



Figure 6. Existing boardwalk

5. Supplier Submissions

5.1 The contractor is required to provide the following information in the **Tender Submission Document** (completed, with Sections A and F signed):

- Compliance with the Mandatory Requirements in Section B;
- A Method Statement in Section C, demonstrating how you will deliver the requirements of the project as listed in *Table 1* above. Please use the tender submission document or provide a separate document;
- A breakdown of costings (Section D), excluding VAT.
- Evidence of experience of similar work completed in the last 10 years including (if possible), projects undertaken in a site designated for nature conservation/landscape importance (Section E)

5.2 Additional information in separate documents:

- Standard risk assessments;
- Health & Safety, Environmental & Sustainability and Quality Assurance policies;
- Certificate of insurance (minimum of £5m Public Liability Insurance and £1m Professional Indemnity Insurance).

5.2 Your completed tender submission document should be saved as a PDF and submitted with the supplementary documents **by 12pm Wednesday 17 June 2026** in electronic format. Please send to tenders@conservancy.co.uk with the subject "**Private and Confidential – Apuldram Manor Farm Permissive Path tender submission**". Please do not copy in any member of Conservancy staff as submissions will be anonymised prior to scoring.

5.3 An automatic acknowledgement email will be sent upon receipt. Please contact the Harbour Office if this is not forthcoming within a reasonable time.

5.4 Kate Bull, Operations Manager kate.bull@conservancy.co.uk, will be the lead contact for this project, with Rosie Ellis, Lead Ranger rosie.ellis@conservancy.co.uk secondary contact. If you have any questions about the project or tender submission form, please email both members of staff.

6. The Role of the Conservancy

6.1 Until the deadline for responding has passed, contractors may contact the Conservancy for further information if required. The site is accessible to the public if you wish to visit prior to submitting your tender. However, please inform the Project Manager, Kate Bull kate.bull@conservancy.co.uk in advance if you wish to view the tipping area and site access track as this will need to be arranged with the tenant farmer.

6.2 The Conservancy will ensure that any potential disruption to users of the footpath and landowner/residents is communicated in both a timely and appropriate manner.

6.3 Upon the passing of the deadline, the Conservancy will assess and score the responses. The weighting upon requested Criteria Categories will be as follows: (*Tables 2 and 3* below).

7. Scoring and Evaluation Framework

7.1 Weighted Quality Score

Each quality criteria will be awarded a score (0-5) based on the below scoring scale. Any submissions receiving scores of 0 or 1 for any element will not be considered.

Table 2 Scoring Criteria

Score	Guidance
0 - Unacceptable	No response or any element of the response gives cause for major concern that requirement[s] will not be met. No assurance could be assessed on previous work examples.
1 - Poor	A poor response that addresses/meets few of the requirements. The response given does not provide full confidence that the requirements can be met. Poor assurance assessed based on previous work examples.
2 - Limited	A limited response that addresses and meets some of the requirements. There are a few concerns about whether or not the requirements can be met, which require further clarification. Limited assurance assessed based on previous work examples.
3 - Satisfactory	A satisfactory response that addresses most of the requirements in sufficient detail, providing confidence that most of the requirements can be met. Satisfactory assurance assessed based on previous work examples.
4 - Good	A good response that addresses and substantially meets the requirements, providing confidence that the requirements can be met in full. Good assurance assessed based on previous work examples.

5 - Excellent	An excellent response that has addressed all requirements in extensive detail, providing confidence that the requirements can be met in full, with added value solutions. Excellent assurance assessed based on previous work examples.
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7.2 The Conservancy will use the following scoring criteria (*Table 3*) on the relevant evaluation categories:

Table 3 Score Allocation and Weighting

Criteria Category	Overall Weighting	Assessment Method
Organisation Details	Not Applicable	Mandatory – Pass /Fail
Evidence of experience of similar work completed in the last 10 years including projects undertaken in a site designated for nature conservation/landscape importance	Not Applicable	Mandatory – Pass /Fail
Total cost ≤ £145,000 (exc VAT)	Not Applicable	Mandatory – Pass /Fail
Standard risk assessments relevant to the works	Not Applicable	Mandatory – Pass /Fail
Health & Safety and Quality Assurance policies	Not Applicable	Mandatory – Pass /Fail
Public Liability Insurance (min £5m) and Professional Indemnity Insurance (£1m)	Not Applicable	Mandatory – Pass /Fail
Method Statement interpretation	20%	0,1,2,3,4,5 (See Scoring in Table 2)
Suggested sustainable drainage solutions	30%	0,1,2,3,4,5 (See Scoring in Table 2)
Environmental & Sustainability Policy	10%	0,1,2,3,4,5 (See Scoring in Table 2)
Quality Assurance – Assessment and Review of Evidence of Previous Work	40%	0,1,2,3,4,5 (See Scoring in Table 2)
Price and Overall Scoring	Price: Quality Ratio	Used to calculate Price : Quality Ratio Score

7.3 Criteria that describes an Assessment Method of “Mandatory – Pass /Fail ” will not be scored as part of the tender, however **if the information is not provided or is incomplete, the tender will be judged as non-compliant and will not continue in the process.**

7.4 Applicants that score 0 or 1 for any of the criteria categories will be automatically judged as non-compliant and will not continue in the process.

7.5 Quality Assurance will be assessed on the previous work evidence supplied within the tender submission. The assessors will look at the following but not limited to: Services, Improvements, Satisfaction, Business Relationships, Customers, Guarantee and Standards. This assessment may require a site visit to previous job sites and or references from previous clients.

7.6 Following the completion of the assessment criteria scoring, the whole tender will be assessed using a “Price : Quality Ratio” scoring technique. This calculation will be based on:

Method Statement + Drainage options + Environmental and Sustainability Policy
+ Quality Assurance of previous work = **Quality Score**

$$\text{Price : Quality Ratio} = \frac{\text{Quality Score}}{\text{Tender Price Submission}} \times 100$$

7.7 The winning tender will be calculated based on the highest price: quality ratio, demonstrating best value for money.

7.8 The contract will be expected to be awarded the w/c 22 June 2026, with the works ideally commencing in September 2026, although this may be delayed until Spring 2027 if planning permission has not been secured by then.

Annex A Photos showing the condition of sections of the path



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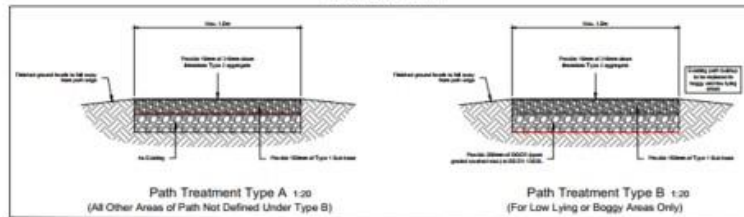
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Annex B Technical drawings (these will be provided at a larger scale)

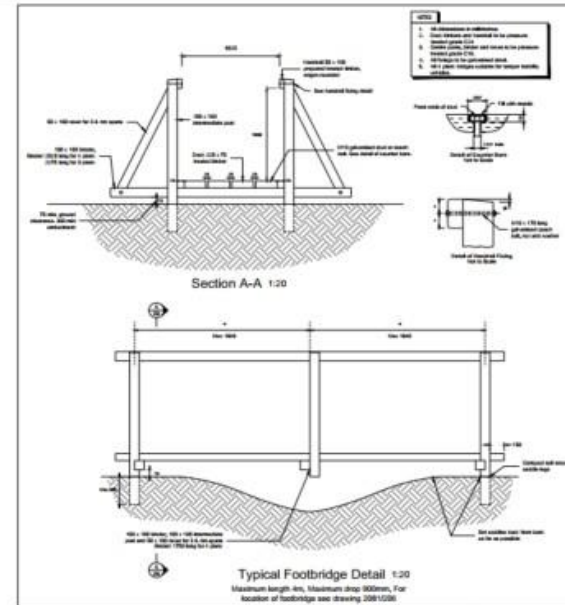


Site Plan 1:4000



Path Treatment Type A 1:20
(All Other Areas of Path Not Defined Under Type B)

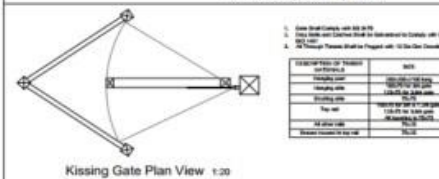
Path Treatment Type B 1:20
(For Low Lying or Boggy Areas Only)



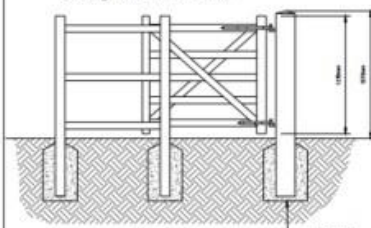
Section A-A 1:20

Typical Footbridge Detail 1:20

Maximum length 4m, Maximum drop 300mm, For location of footbridge see drawing 2001/2206



Kissing Gate Plan View 1:20



Kissing Gate Elevation 1:20

Scale 1:200 for 1:20 Details
Scale 1:20 for 1:20 Details

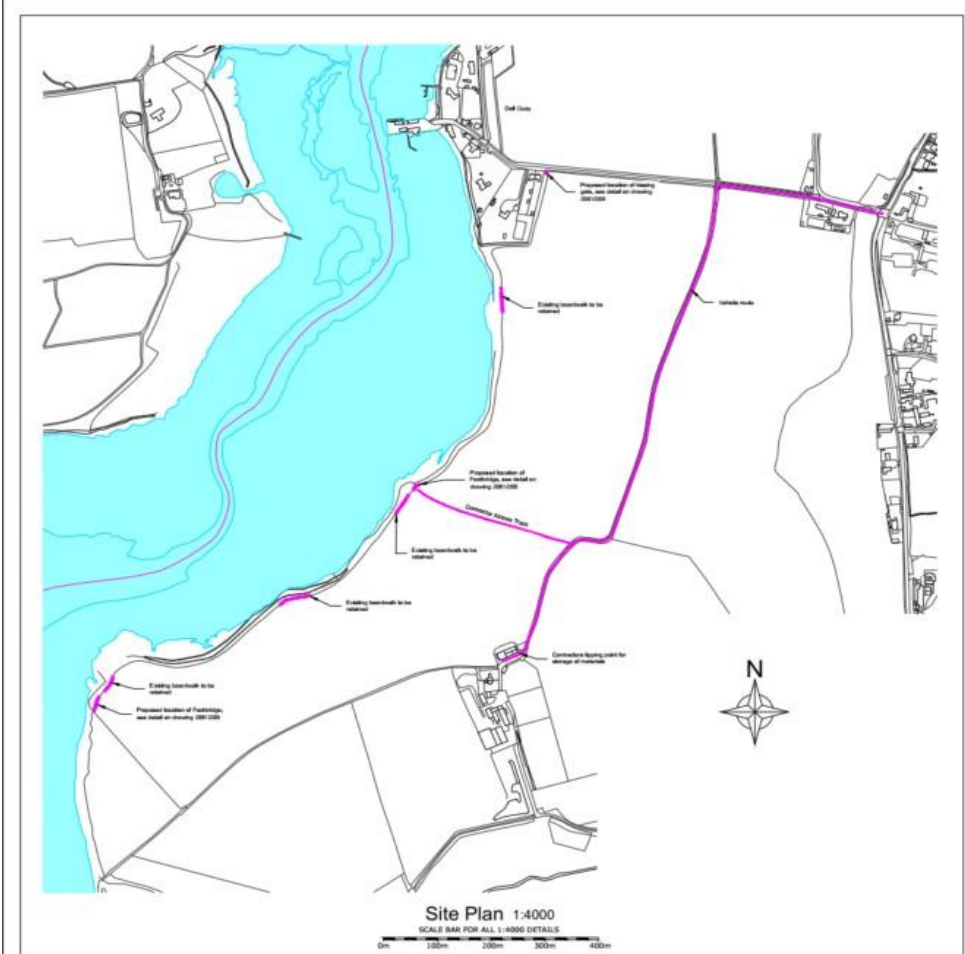
CHICHESTER HARBOUR CONSERVANCY
Chichester Harbour National Landscape

Chichester Harbour Permissive Path Remedial Works
Site Plan and Proposed External Work Details



Planning Application

Haworth McColl
PLANNING

Feb-25 2008 V 205




ISSUE/REVISION		
No.	Date	Description

Project:
 Chichester Harbour Permissive Path Remedial Works

Drawing Title:
 Proposed Footpath including Contractor Access Track & Tipping Point

Submitted for:
 Planning Application



National 01203 611171
 Sussex 01243 826100
 www.haworthmccall.co.uk

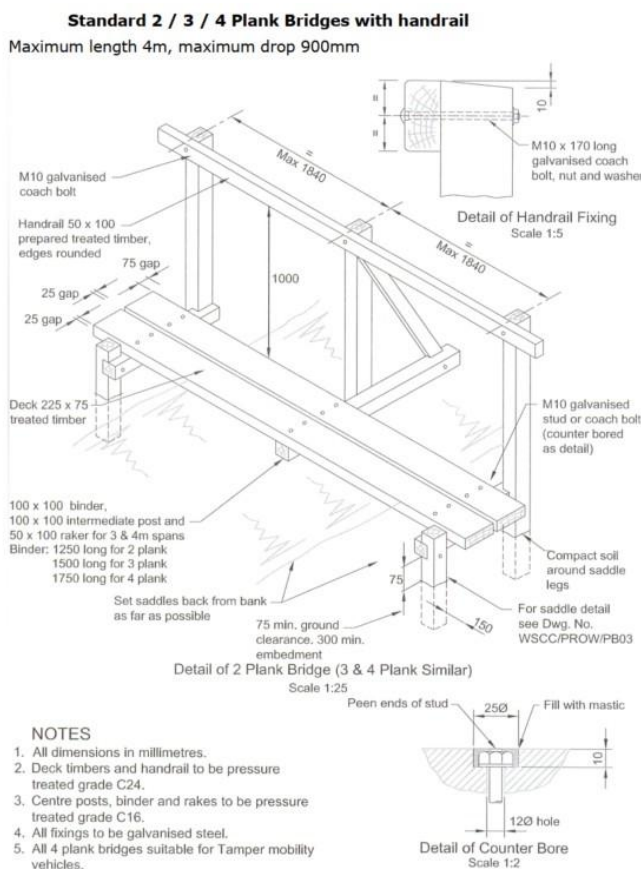
Drawn: J.McCall	Checked: J.McCall	Date: Feb-26	Proj No: 2081/ 206	Scale: -
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Annex C Footbridge and kissing gate design specifications

The replacement footbridge should be delivered in kit form, 3 metres x 1 metre, to the specification set out in the *WSCC Parish Path Inspector Information Pack 2020* (see below)

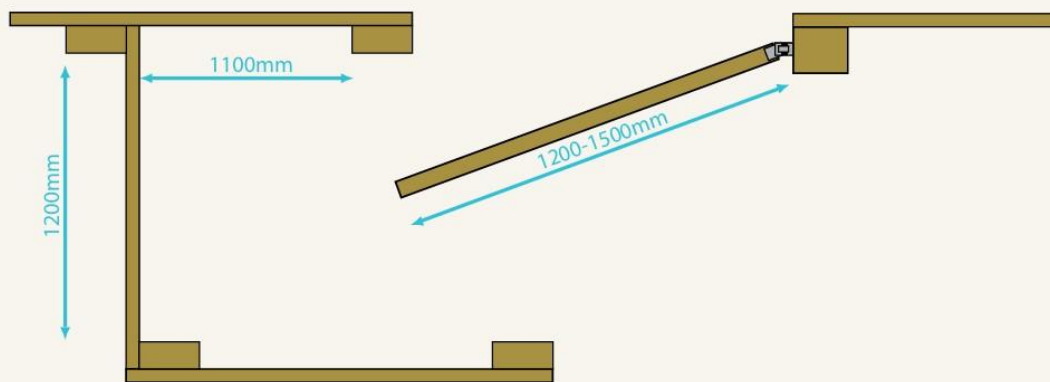
- Where two handrails are required the minimum clear width between them is generally 1m for footbridges and 1.5m for bridle bridges.
- Parapets (handrails) are typically 1m high for pedestrian use and 1.5m for equestrian use. Parapets of 1.8m are used where there are particularly hazardous drops onto roads, rivers and railways.
- All timber decking should have gaps between the individual boards to allow air circulation. The gaps should not be less than 6mm wide, 16mm maximum where sheep have access or users are likely to have unsuitable footwear (i.e. high heels) and a maximum of 25mm in rural areas.
- Standardised designs have been prepared for 2, 3 and 4 plank bridges (see drawing below). These are installed to a maximum span of 4 meters and generally with a maximum drop of 900mm with a handrail, or 600m without.

The footbridge, handrails and replacement plank for the second footbridge (remaining in situ) should all be sourced from FSC or PEFC certified forests.



West Sussex County Council do not have a specific design guidance for kissing gates but best practice from Kent County Council states the following:

- *The minimum internal manoeuvring space should be one that allows a one metre diameter cylinder to pass through the gate;*
- *Latches, if fitted, must be easily accessible from both sides of the gate;*
- *Gates should swing freely;*
- *The gate overlap on the closing posts should be at least 30mm;*
- *The ground within the gate and any manoeuvring space should be level or have a gradient of less than 1:10;*
- *Hard surfacing materials should be placed on the ground within the gate compound to prevent erosion;*
- *Where manufacturers do not specify, closing posts should be between 500mm and 700mm in the ground, hanging posts should be 1100mm;*
- *New gates must be set back from vehicular roads at a distance of 2000mm;*
- *Barbed wire and electric fencing must not be attached to the gate.*



Wooden gate components

1	150mm x 150mm x 2400mm	Hanging post
2	125mm x 125mm x 2000mm	Closing posts
2	125mm x 125mm x 2000mm	Back posts } Dimensions can vary
3	65mm x 40mm x 1100mm	Rails
3	65mm x 40mm x 1200mm	Rails
3	65mm x 40mm x 1800mm	Rails
1	1200mm x 1200mm	Gate
2		Hinge sets
1		(latch if required)