

**VIEWS FROM VIEWPOINT CH28 CHICHESTER MARINA FOOTPATH**



**This view to the Cathedral from the northern edge of Chichester Marina is currently largely screened by intervening mature trees which currently prevent views towards the proposed development site. Only the spire of the Cathedral is visible during the summer as a result.**

**VIEWS FROM VIEWPOINT CH29 A286 CUTMILL BRIDGE**



Approaching Chichester from the south there are views of the Cathedral spire from the A286 at the entrance to Chichester Marina. These glimpsed views are largely screened by oblique lines of mature trees. This view is less likely to change over time due to the number of intervening trees.

## APPENDIX 9: RELEVANT EXTRACTS FROM DRAFT CAPACITY STUDY: APULDRAM

<p><b>Potential effect on key visual characteristics</b></p> <ul style="list-style-type: none"> <li>• Impact on sensitive receptors within SDNP and AONB</li> <li>• Potential interruption of long and panoramic views to SDNP, Goodwood and Chichester Cathedral spire including FGoC priority views</li> </ul>
<p><b>Potential effect on key landscape characteristics</b></p> <ul style="list-style-type: none"> <li>• Loss of Grade 1 soils</li> <li>• Erosion of setting of Grade I and II listed buildings</li> </ul>
<p><b>Potential effect on key settlement characteristics</b></p> <ul style="list-style-type: none"> <li>• Erosion of historic form of Apuldram.</li> </ul>
<p><b>Landscape mitigation and contribution to green infrastructure</b></p> <ul style="list-style-type: none"> <li>• Retention of all good and moderate quality tree cover and locally distinctive boundary treatments and features</li> <li>• Retention of other vegetated areas where they contribute to landscape and biodiversity value.</li> <li>• Tree and hedgerow planting to strengthen field boundaries and the landscape between settlements and create wildlife corridors where this will not result in loss of key views.</li> </ul>

### Conclusion and recommendations and potential capacity of sub-area

Sub-area CH22 has a medium/low capacity constrained by its intervisibility with sensitive receptors in the SDNP and AONB. There are far-reaching and panoramic views to the SDNP and Chichester Cathedral spire. It is somewhat influenced in the east by the ribbon development on Birdham Road but retains a generally strong rural character and retains a strong relationship with the wider landscape, especially to the south and west.

It is possible that some further development may be accommodated around existing clusters of built form provided it is informed by further landscape and visual impact assessment and sensitively integrated into the landscape although great care would need to be taken to avoid any landscape or visual harm. Particular care would be needed to protect the AONB and its setting, listed buildings and views to the South Downs and Chichester Cathedral and to retain the historic form of Apuldram.

<p><b>Potential effect on key visual characteristics</b></p> <ul style="list-style-type: none"> <li>• Impact on sensitive receptors within SDNP and AONB and on Salterns Way</li> <li>• Potential interruption of long and panoramic views to SDNP, Goodwood and Chichester Cathedral spire including FGoC priority views</li> </ul>
<p><b>Potential effect on key landscape characteristics</b></p> <ul style="list-style-type: none"> <li>• Loss of Grade 1 soils</li> <li>• Impact of setting of AONB</li> <li>• Potential impact on wider setting of River Lavant and associated habitat</li> </ul>
<p><b>Potential effect on key settlement characteristics</b></p> <ul style="list-style-type: none"> <li>• Erosion of separation of Apuldram from Fishbourne/Chichester</li> </ul>
<p><b>Landscape mitigation and contribution to green infrastructure</b></p> <ul style="list-style-type: none"> <li>• Retention of all good and moderate quality tree cover and locally distinctive boundary treatments and features</li> <li>• Retention of other vegetated areas where they contribute to landscape and biodiversity value.</li> <li>• Tree and hedgerow planting to strengthen field boundaries and the landscape between settlements and create wildlife corridors where this will not result in loss of key views.</li> </ul>

### Conclusion and recommendations and potential capacity of sub-area

Sub-area CH23 has a medium/low capacity constrained by its intervisibility with sensitive receptors in the SDNP and AONB and the presence of the nearby River Lavant and its floodplain which covers the west of the sub-area. There are far-reaching and panoramic views to the SDNP and Chichester Cathedral spire. It is influenced in the north and east by noise from the A27 but retains a strong rural character and a strong relationship with the wider landscape, especially to the south and west.

It is possible that some development may be accommodated around existing clusters of built form provided it is informed by further landscape and visual impact assessment and sensitively integrated into the landscape although great care would need to be taken to avoid any landscape or visual harm. Particular care would be needed to protect the AONB and its setting, views to the South Downs and Chichester Cathedral and to retain the separation of Apuldram from Fishbourne/Chichester.

**6. Landscape Value: Medium/low**

- Small play area in north-east

**7. Landscape Capacity: Medium (combines 5 and 6)**

<b>Potential effect on key visual characteristics</b> <ul style="list-style-type: none"> <li>• Impact on sensitive receptors on PRoW</li> <li>• Potential interruption of long views to SDNP, Goodwood and Chichester Cathedral spire.</li> </ul>
<b>Potential effect on key landscape characteristics</b> <ul style="list-style-type: none"> <li>• Loss of Grade 1/2 soils</li> <li>• Impact on River Lavant and associated habitat</li> </ul>
<b>Potential effect on key settlement characteristics</b> <ul style="list-style-type: none"> <li>• Erosion of separation of Stockbridge, Fishbourne and Apuldram</li> </ul>
<b>Landscape mitigation and contribution to green infrastructure</b> <ul style="list-style-type: none"> <li>• Retention of all good and moderate quality tree cover and locally distinctive boundary treatments and features</li> <li>• Retention of other vegetated areas where they contribute to landscape and biodiversity value.</li> <li>• Tree and hedgerow planting to strengthen field boundaries and the landscape between settlements and create wildlife corridors where this will not result in loss of key views.</li> </ul>

**Conclusion and recommendations and potential capacity of sub-area**

Sub-area CH24 has a medium capacity constrained by its Grade 1 soils, PRoW and the presence of the River Lavant and its floodplain which covers the centre of the sub-area. There are far-reaching views to the SDNP and Chichester Cathedral spire where vegetation allows. It is influenced in the north by the A27 and storage yard and to the east by Stockbridge but retains a generally strong rural character and retains a good relationship with the wider landscape to the west.

It is possible that some development may be accommodated adjacent to the existing settlement provided it is informed by further landscape and visual impact assessment and sensitively integrated into the landscape although great care would need to be taken to avoid any landscape or visual harm. Particular care would be needed to protect the River Lavant, views to the South Downs and Chichester Cathedral and to retain the separation of Stockbridge, Apuldram and Fishbourne.

**7. Landscape Capacity: Medium/low (combines 5 and 6)**

<b>Potential effect on key visual characteristics</b> <ul style="list-style-type: none"> <li>• Impact on sensitive receptors within SDNP, AONB, Fishbourne Conservation Area and on Salterns Way</li> <li>• Potential interruption of long and panoramic views to SDNP, Chichester Cathedral spire including FGoC priority views</li> </ul>
<b>Potential effect on key landscape characteristics</b> <ul style="list-style-type: none"> <li>• Loss of Grade 1 soils</li> <li>• Impact of setting of AONB/conservation area</li> <li>• Potential impact on stream and associated habitat</li> </ul>
<b>Potential effect on key settlement characteristics</b> <ul style="list-style-type: none"> <li>• Erosion of separation of Apuldram from Fishbourne/Chichester</li> </ul>
<b>Landscape mitigation and contribution to green infrastructure</b> <ul style="list-style-type: none"> <li>• Retention of all good and moderate quality tree cover and locally distinctive boundary treatments and features</li> <li>• Retention of other vegetated areas where they contribute to landscape and biodiversity value.</li> <li>• Tree and hedgerow planting to strengthen field boundaries and the landscape between settlements and create wildlife corridors where this will not result in loss of key views.</li> </ul>

**Conclusion and recommendations and potential capacity of sub-area**

Sub-area CH23 has a medium/low capacity constrained by its intervisibility with sensitive receptors in the SDNP, AONB, and Fishbourne Conservation Area and on the Salterns Way. There are possibly far-reaching and panoramic views to the SDNP and Chichester Cathedral spire from within the sub-area. It is influenced by existing development to the west on Appledram Lane South, in the north-east by noise from the A27/A259 and views to the adjacent storage yard but retains a reasonable strong rural-edge character and a strong relationship with the wider landscape, especially to the south-east.

It is possible that some further development may be accommodated around existing clusters of built form provided it is informed by further landscape and visual impact assessment and sensitively integrated into the landscape although great care would need to be taken to avoid any landscape or visual harm. Particular care would be needed to protect the AONB and conservation area and their setting, views to the South Downs and Chichester Cathedral and to retain the separation of Apuldram from Fishbourne/Chichester.

**7. Landscape Capacity: Low (combines 5 and 6)**

<p><b>Potential effect on key visual characteristics</b></p> <ul style="list-style-type: none"> <li>• Impact on sensitive receptors within SDNP and AONB</li> <li>• Potential interruption of long and panoramic views to SDNP, Goodwood and Chichester Cathedral spire including FGoC priority views</li> </ul>
<p><b>Potential effect on key landscape characteristics</b></p> <ul style="list-style-type: none"> <li>• Loss of Grade 1 soils</li> <li>• Impact of setting of AONB</li> <li>• Impact on River Lavant and associated habitat</li> </ul>
<p><b>Potential effect on key settlement characteristics</b></p> <ul style="list-style-type: none"> <li>• Erosion of historic form of Apuldram.</li> </ul>
<p><b>Landscape mitigation and contribution to green infrastructure</b></p> <ul style="list-style-type: none"> <li>• Retention of all good and moderate quality tree cover and locally distinctive boundary treatments and features</li> <li>• Retention of other vegetated areas where they contribute to landscape and biodiversity value.</li> <li>• Tree and hedgerow planting to strengthen field boundaries and the landscape between settlements and create wildlife corridors where this will not result in loss of key views.</li> </ul>

**Conclusion and recommendations and potential capacity of sub-area**

Sub-area CH53 has a low capacity constrained by its intervisibility with sensitive receptors in the SDNP and AONB and the presence of the River Lavant and its floodplain which covers most of the sub-area. There are far-reaching and panoramic views to the SDNP and Chichester Cathedral spire. It is somewhat influenced in the east by noise from the A27 but retains a strong rural character and retains a strong relationship with the wider landscape, especially to the south and west.

It is unlikely that any development may be accommodated within this sub-area without damage to the existing character. It is therefore not recommended as a location for further development.

## APPENDIX 10 : GUIDANCE FROM 2005 STUDY FOR APULDRAM MEADOWS DEVELOPMENT SITE

### LAND PARCEL 53: APULDRAM MEADOWS

#### Landscape Context

- 6.206. The *Apuldram Meadows* landscape character parcel forms part of the *Enclosed Pasture* landscape character type which falls within the *Chichester Coastal Plain* landscape character area. This landscape character type is characterised by small scale fields of pasture enclosed by hedges, often historic fields associated with villages or recently enclosed horse paddocks. These areas often include semi-improved grassland and small woodlands with nature conservation interest. Mature hedgerow oaks are important landscape features and the landscape often has a greater sense of enclosure than arable areas. This landscape character parcel is found alongside the River Lavant as it crosses the arable landscape north of Apuldram.

#### Landscape Sensitivity

Criteria	Judgement and Comment
<b>Landscape quality/ condition</b>  (good; moderate or declining or poor)	The condition of this area is <b>poor</b> . Fields have been abandoned, field boundaries are gappy and fly tipping is evident.
<b>Role in the landscape setting of Chichester</b>  (strong positive; some positive; or neutral)	The Chichester Coastal Plain provides a rural lowland setting to Chichester allowing long views to Chichester Cathedral over large distances.  This area forms an integral part of rural setting of Chichester allowing views of Chichester cathedral over its open landscape. It therefore plays a <b>strong positive</b> role in the rural lowland setting of Chichester.
<b>Contribution to wider character area</b>  (strong positive; some positive; or neutral)	The key characteristics of the lower coastal plain include water courses and pasture. This area therefore provides a <b>strong positive</b> contribution to the character of the lower coastal plain.
<b>Time depth of the landscape (as revealed in Historic LCA)</b>  (high; moderate; or low sensitivity)	This landscape character parcel is a product of medieval irregular piecemeal enclosure, late post medieval planned private enclosure and 20 <sup>th</sup> century field reorganisation – its historic sensitivity therefore varies. Its overall historic sensitivity may therefore be described as <b>moderate</b> .
<b>Sensitivity of individual landscape elements</b>  (high; moderate; or low sensitivity)	Improved grassland is relatively rare in this coastal plain landscape. The course of the river is particularly sensitive, but this could be retained alongside any development. The area has <b>moderate sensitivity</b> in terms of landscape elements.
<b>Effect on settlement pattern</b>  (large adverse; moderate adverse; or small adverse/ neutral)	Since this land parcel is located in open countryside, development in this location would result in a new free standing development. It would not join adjacent villages, but would change the pattern of hamlets and villages in the coastal plain. Development in this location would result in a <b>moderate adverse</b> effect on settlement.

	pattern.
<b>Overall Landscape Character Sensitivity Judgment</b> <i>(low; low-moderate; moderate; moderate-high; or high)</i>	<i>The above combination of sensitivity scores suggests that overall, this landscape has a <b>moderate</b> landscape sensitivity to built development.</i>

**Sensitivity in relation to Priority Views**

Criteria	Judgement and Comment
<b>Visibility from Chichester Harbour and Sussex Downs AONBs</b>  <i>(prominent; visible but not prominent; or not visible)</i>	Development in this location would be <b>prominent</b> from some parts of the Chichester Harbour AONB which is adjacent to the landscape character parcel.
<b>Visible in how many 'priority views' to and from Chichester</b>  <i>(more than one view; one view; or none)</i>	In theory development in this location falls within the viewcones of views from Salterns Copse, Dell Quay Road and the Fishbourne Channel. However, in practice development would be screened by intervening vegetation from Salterns Copse and Dell Quay Road = <b>one view</b> .
<b>Prominence in 'priority views' to and from Chichester</b>  <i>(prominent; visible but not prominent; or not visible)</i>	Built development is likely to be <b>visible, but not prominent</b> in views from the Fishbourne channel.
<b>Overall sensitivity re Priority Views</b> <i>(low; low-moderate; moderate; moderate-high; or high)</i>	<i>The above combination of sensitivity scores suggests that overall, this landscape has a <b>moderate-high</b> Sensitivity in relation to Priority Views.</i>

**Sensitivity in relation to the Amenity for Local Viewers**

Criteria	Judgement and Comment
<b>Potential loss of visual amenity for residents</b>  <i>(major; moderate; or minor significance)</i>	Development in this location would be visible from a very small number of properties (under 5 properties) = <b>minor</b> significance.
<b>Potential loss of visual amenity for recreational users</b>  <i>(major; moderate; or minor significance)</i>	Development would be dominant in views from the public footpath along the River Lavant = <b>major</b> significance.
<b>Potential loss of visual amenity for local motorists</b>  <i>(major; moderate; or minor significance)</i>	Built development would be prominent in views along Apuldram Lane = <b>moderate</b> significance.
<b>Overall sensitivity in relation to the amenity for local viewers</b>	<i>The above combination of sensitivity scores suggests that overall, this landscape has <b>moderate</b> sensitivity in relation to</i>

<i>(low, low-moderate, moderate, moderate-high, or high)</i>	<i>the amenity for local viewers.</i>
--	---------------------------------------

**Guidance**

- 6.207. The most sensitive aspects of this landscape parcel are the role this area plays in the setting of Chichester, the contribution the parcel makes to the wider character of the coastal plain, the presence of improved grassland alongside the River Lavant, the proximity of the site to the Chichester Harbour AONB, and its location in views from the Fishbourne Channel and the public footpath alongside the River Lavant.
- 6.208. The following guidance has been drawn from the sensitivity assessments outlined above. The guidance is an important output from the assessment and, in the event that built development is allocated to this area, the following guidance on landscape character and visual amenity should be incorporated into the development brief. It should be borne in mind, however, that there will be other considerations to take on board relating to other environmental and sustainability issues which may require these preliminary conclusions to be modified.
- 6.209. Any development in this landscape should seek to:
- conserve the course of the River Lavant as a landscape feature and enhance public access to it;
  - improve the condition of the landscape;
  - conserve the grassland habitat;
  - conserve the irregular, small scale pattern of medieval fields to the south of the river;
  - respect the settlement pattern of the coastal plain, maintaining the small scale nucleated form of villages;
  - respect the character of the Chichester Harbour AONB and ensure built development is not visible from the AONB.

<i>(low; low-moderate; moderate; moderate-high; or high)</i>	<i>the amenity for local viewers.</i>
--	---------------------------------------

### Guidance

- 6.207. The most sensitive aspects of this landscape parcel are the role this area plays in the setting of Chichester, the contribution the parcel makes to the wider character of the coastal plain, the presence of improved grassland alongside the River Lavant, the proximity of the site to the Chichester Harbour AONB, and its location in views from the Fishbourne Channel and the public footpath alongside the River Lavant.
- 6.208. The following guidance has been drawn from the sensitivity assessments outlined above. The guidance is an important output from the assessment and, in the event that built development is allocated to this area, the following guidance on landscape character and visual amenity should be incorporated into the development brief. It should be borne in mind, however, that there will be other considerations to take on board relating to other environmental and sustainability issues which may require these preliminary conclusions to be modified.
- 6.209. Any development in this landscape should seek to:
- conserve the course of the River Lavant as a landscape feature and enhance public access to it;
  - improve the condition of the landscape;
  - conserve the grassland habitat;
  - conserve the irregular, small scale pattern of medieval fields to the south of the river;
  - respect the settlement pattern of the coastal plain, maintaining the small scale nucleated form of villages;
  - respect the character of the Chichester Harbour AONB and ensure built development is not visible from the AONB.

**APPENDIX 11:RELEVANT EXTRACT FROM SDILA LCA MAPPING**

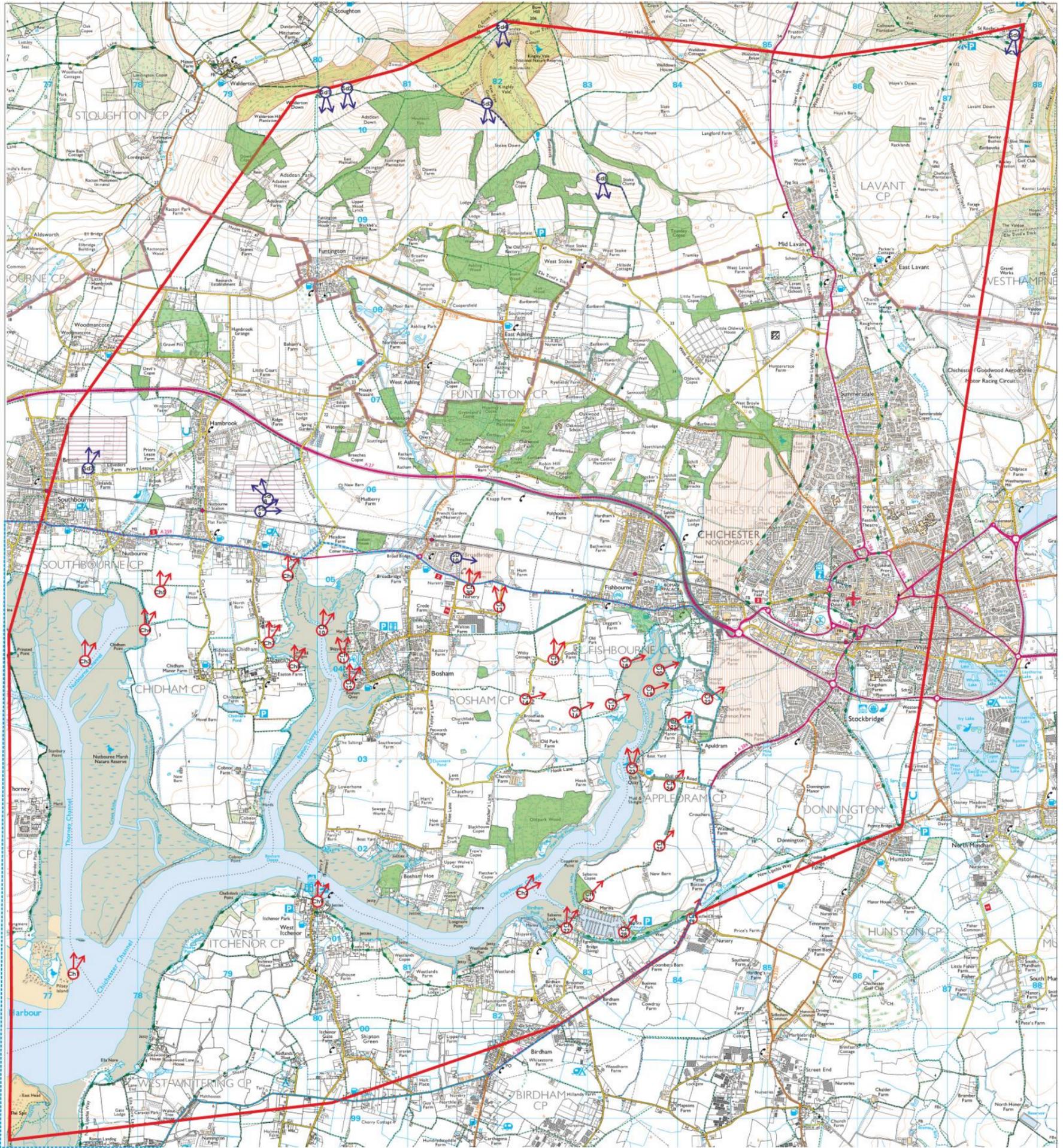


**Landscape Types**

- A: Open Downland
- B: Wooded Estate Downland
- C: Clay Plateau
- D: Downland Mosaic
- E: Chalk Valley Systems
- F: Major River Floodplains
- G: Major Valley Sides
- H: Major Scarps
- I: Scarp Footslopes
- J: Greensand Terrace
- K: Mixed Farmland and Woodland Vale
- L: Wealden Farmland and Heath Mosaic
- M: Sandy Arable Farmland
- N: Greensand Hills
- O: Low Weald
- P: Wooded Claylands
- Q: Upper Coastal Plain

Extract from SDILCA mapping showing how the wooded downs character area covers the high ground and the Upper Coastal Plain extends south to the boundary of the park at this scale.

**APPENDIX 12 PHOTOGRAPHS OF VIEWS TO THE DOWNS FROM THE AONB**



	STUDY AREA		AONB BOUNDARY		ALLOCATED DEVELOPMENT
	KEY VIEWPOINT TOWARDS DOWNS		NATIONAL PARK BOUNDARY		POTENTIAL FUTURE DEVELOPMENT
	KEY VIEWPOINT TOWARDS CATHEDRAL		CHICHESTER CATHEDRAL SPIRE		KEY TREE LINE
	KEY VIEWPOINT TOWARDS THE HARBOUR		KEY TREE GROUP		



<b>Project : Chichester Harbour view study</b>		
<b>Client: Chichester Harbour Conservancy</b>		
<b>Drawing: STUDY AREA</b>		
Scale: 1 : 200000 at A1	Drawing no: 342-01-01	Drawn: Checked: DH DH
Date : JULY 2ND 2019 David Hares Landscape Architecture 4 Northgate, Chichester West Sussex PO19 1BA Telephone 01243 850031 email: david@hareslandscape.co.uk Web www.hareslandscape.co.uk		

location of viewpoints

**VIEWS FROM VIEWPOINT CH 1: Off Pilsa Island**



This is one of the typical views from the Harbour 'pool' within the shelter of East Head. The dark woodland 'cap' over the downs between Kingley Vale and Walderton Down is also visible from beyond the harbour entrance. Stoke Clump and the Trundle are also distinctive features on the skyline.

**VIEWS FROM VIEWPOINT CH 2: CHICHESTER CHANNEL APPROACHING COBNOR POINT**



**Whilst not an official navigation mark the Cathedral spire helps lead sailors into the more sheltered areas of the Harbour at West Itchenor and Bosham.**

**PANORAMIC VIEW FROM VIEWPOINT CH 3: Nutbourne Channel near Chidham Point.**



Views towards likely development sites are currently hidden by existing mature trees both around the harbour edge, and along the AONB boundary which follows the east-west A259. The red arrows indicate the approximate positioning the two likely development sites which are unlikely to be visible from this location unless more than 2 storeys in height.

**PANORAMIC VIEW FROM VIEWPOINT CH 4: Harbour side Footpath near Chidham Point.**



**The possible development site to the north east of Nutbourne is unlikely to be visible from this location due to intervening buildings and trees around Nutbourne.**

**PANORAMIC VIEW FROM VIEWPOINT CH5: Footpath near Nutbourne.**



**In a similar way to viewpoint CH 4 the possible development site to the north east of Nutbourne is unlikely to be visible from this location due to intervening buildings and trees around Nutbourne.**

**PANORAMIC VIEWS FROM VIEWPOINT CH6: Harbour-side Footpath at Cutmill Creek.**



**Exact details of the possible development site along Drift lane are not yet available. The Drift lane area is currently screened by buildings and trees around Cockleberry and Orchard Farms, however these trees are subject to development pressure and cannot be guaranteed to continue screening the site from the AONB in the longer term.**

**VIEW FROM VIEWPOINT CH7: Footpath east of Chidham Lane.**



The combination of existing trees both within and beyond the AONB boundary are likely to continue to screen the potential Drift Lane development site from this part of the AONB., but subject to the comments at CH6 above which apply to the area arrowed .

**VIEWS FROM VIEWPOINT CH8: Harbour-side Footpath at Chidham**



**In a similar manner to viewpoint CH6 there is some concern that trees in the area arrowed are liable to pressure for removal due to intensification of uses at Cockleberry and Orchard farms. If this occurred there is potential for new housing at Drift lane to be visible in the left of this view in the area arrowed, but subject to the height of the buildings.**

**VIEWS FROM VIEWPOINT CH9: Hard at West Itchenor**



**Whilst the South Downs are visible from the hard at West Itchenor; there are unlikely to be any views of proposed development sites; unless very tall buildings are permitted.**

**PANORAMIC VIEW FROM VIEWPOINT CH 10 Bosham Channel**



**This view from the water shows how views towards the South Downs are a feature of the heads of the five channels which make up the harbour and AONB. At this slightly lower level there is less likelihood of the potential Drift lane development being visible from the water, however tall buildings might be visible in winter, particularly given that the screening is provided by trees which are subject to development pressure, which could well increase if the development goes ahead.**

**VIEWS FROM VIEWPOINT CH 11: Harbour-side Footpath at Bosham**



Looking toward the potential Drift Lane site from a slightly lower level (at low tide) and greater distance. The distance to the potential development is such that there is unlikely to be any significant visual change affecting this area.

**VIEWS FROM VIEWPOINT CH12: Quay Meadow Bosham**



Quay meadow is heavily used by visitors to Bosham and the adjoining church, and it is owned by the National Trust. It is therefore a highly sensitive viewpoint. The distance to the potential Drift Lane site is however such that there is very little likelihood of any significant visual change as a result of potential development at Drift Lane.

**VIEWS FROM VIEWPOINT CH 13: Towards Highgrove Farm Broadbridge**



Looking towards allocated land at Highgrove Farm Broadbridge which abuts the AONB boundary (A259). The approximate extent of the site is indicated with red arrows and there will undoubtedly be a significant visual change as a result of the new development, particularly during the winter, unless some significant effort is made to mitigate adverse visual effects.

**VIEWS FROM VIEWPOINT CH 30: Across Highgrove Farm Broadbridge from the A259**



This site abuts the road which forms the boundary to the AONB. Kingley Vale visible in the distance.

**VIEWS FROM VIEWPOINT CH15: Park Lane Fishbourne**



Lines of poplar or alder windbreaks were once a feature of the horticultural land to the south of the Downs. Various relic Lombardy poplars are now a characteristic of the area, but as relatively short lived trees will be lost over the next 20 years. This line of trees prevents views towards the downs from Park lane during the summer, but will be more open in the winter. These tree lines can however be easily removed for operational reasons and would allow longer distance views potentially towards proposed development.

**VIEWS FROM VIEWPOINT CH23: Dell Quay**



**Dell Quay is a popular visitor spot and offers views across water to the South Downs in the distance. As a popular location within the AONB it is more sensitive to visual change, however proposed development is less likely to be visible from this location.**